

### Legend

Stage 8A/8B Boundary	
Attached Products (in a row) Attached product is to be developed in clusters and are to be of the same architectural style, development of individual lots is not permitted.	
Mandatory Driveway Locations	
Pathway	
Pathway for postal service access and registration of address at front of dwelling	

### Notes:

Please refer to the following plans for additional information:

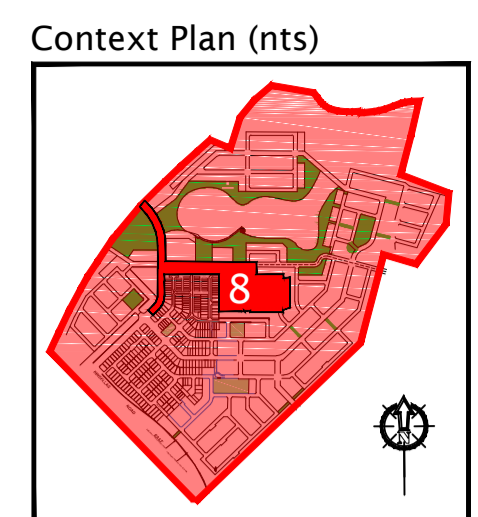
Street Tree Planting	Appendix A	THG Suite
Street Lighting	Appendix A	THG Suite
Setbacks & Requirements	CP16-D & BLE09-D (Detached) BLE10-D (Over 140 Attached)	THG Suite
Vehicle Turning	CP18-D (THG Suite)	BMD Suite

### Yield Summary

Rear Loaded Product	71	54.2%
Front Loaded Product	12	9.2%
Medium Density Site	3	2.3%
<b>TOTAL NUMBER OF ATTACHED LOTS</b>	<b>86</b>	<b>65.7%</b>
Lots 10.0m-12.49m	11	8.4%
Lots 12.5m-14.99m	25	19.0%
Lots 15.0m-17.99m	6	4.6%
Lots 18.0m+	3	2.3%
<b>TOTAL NUMBER OF DETACHED LOTS</b>	<b>45</b>	<b>34.3%</b>
<b>TOTAL NUMBER OF LOTS</b>	<b>131</b>	<b>100%</b>

### Development Summary

Total Stage Area (9.22ha)	
• Stage 8A	1.62ha
• Stage 8B	7.60ha
<b>Total Number of Lots</b>	<b>131</b>
<b>Total Area of Lots</b>	<b>4.0136ha</b>
Approx. Area of New Road	
• Road	4.7985ha
• Laneways & Connecting Pathways	0.2941ha
• Road Reserve	
Approx. Length of New Road (2475m)	
• Road	2095m
• Laneways & Connecting Road Reserve Pathways	380m
<b>Area of Park</b>	<b>0.1138ha</b>



### Capestone For Urbex

**IMPORTANT NOTES:**  
These notes are an integral part of this plan. This plan was prepared to support a reconfiguration of lot application for the land located at Mapo 16. The contours, boundaries, area, road front, building locations have all been loaded and should not have any reliance based on them as they are only intended as a general guide. The configuration of proposed lots shown on this plan is subject to Local Authority and relevant State Government authority approvals, detailed design, final survey and registration of survey plans. All contours contained on this plan should be confirmed by the relevant authorities. The dimensions, area and total number of lots shown herein are subject to field survey and also to the requirements of Council and any other authority which have jurisdiction over any relevant land. Information on this plan for any final design, including the site.

THESE DESIGNS AND DRAWINGS ARE COPYRIGHTED WITHOUT THE WRITTEN PERMISSION OF THG.

Data Sources: Cadastral boundaries 30105-LP11-C.dwg

Rev	Description	Date	By
0	Issue for comment	12/06/2015	KS
1	Final design	18/03/2015	KS
2	Final design	02/03/2015	KS
3	Final design	30/04/2015	KS
4	Final design	18/03/2015	KS
5	Final design	02/03/2015	KS
No. Revisions		Date	Chgd

Scale: 1:1,000@A1  
Designed: KS  
Drawn: KS  
Checked: KS  
Plot Date: 12 Jun, 2015  
Computer File Ref: 30105-LP11-D.dwg

### CAPESTONE Stage 8 Reconfiguration of a Lot Plan

BRISBANE 075 3088 4510  
MACKAY 075 451 2911  
PROSERPINE 075 451 2911  
BOWEN 075 4788 1950  
CAIRNS 075 451 8722

Email: mail@thg.com.au www.thg.com.au  
Phone: 25 464 674 374  
Brisbane Property Pty Ltd (a THG Resource Enterprise)

Drawing No: 30105-LP11  
Issue: D