

# CAPESTONE For URBEX

**IMPORTANT NOTES:**  
(These notes are an integral part of this plan)  
This plan has been prepared for URBEX for the purposes of a Setback Plan. This plan is intended for discussion purposes only and should not be used for any other purposes. No investigations have been undertaken by THG WSG Pty Ltd over this area of land other than to sight the registered plan and topographical map. The Contours, boundaries, creek line, flood lines, building locations have all been scaled and should not have any reliance based on them as they are only intended as a general guide. Any comments contained on this plan should be confirmed by the relevant authorities. The dimensions, areas and total number of lots shown hereon are subject to field survey and also to the requirements of Council and any other authority which may have requirements under any relevant legislation. In particular, no reliance should be placed on the information on this plan for any financial dealings involving the land.

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The title boundaries as shown hereon have been determined from minimum connections to survey marks placed by others and then from measurements by others, the verification of which does not form part of this survey.

No report is made on any underground services on or adjacent to the site.

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Data Sources  
Cadastral Boundaries 30105-GP05-A  
Contours / Topographic 30105-GP05-A

B	Amend Lots and Roads	11/03/14	KS
A	Original	22/11/13	KS
No	Revisions	Date	Chkd

Parish: REDCLIFFE  
County: STANLEY  
Locality: MANGO HILL  
Local Authority: MBRC  
Map Reference : 9543-43323  
Horizontal Meridian: MGA  
Vertical Level Datum: AHD  
Level Origin: PM38847  
Scale: 1:1000 @ A3  
Surveyed: HSG  
Designed: KS/DS/AN  
Drawn: KS  
Checked: KS  
Plot Date: 11 Mar, 2014  
Computer File Ref: 30105-GP05-B.dwg

## CAPESTONE Stage 5 Setback Plan & Development Requirements



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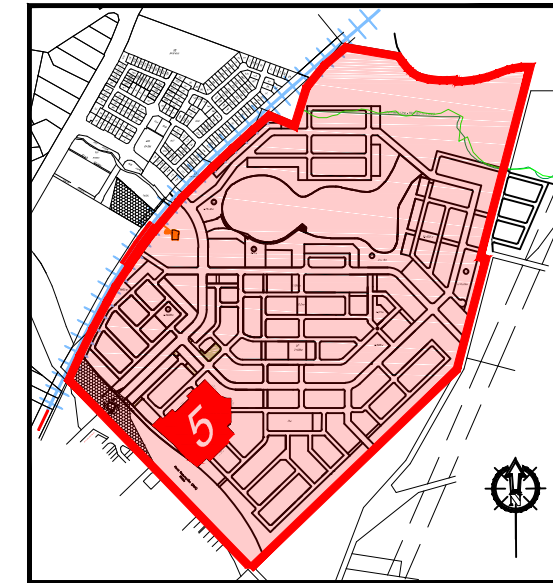
Drawing No 30105-GP05 Issue B

Lot Type	Av. Lot Wdth (m)	Typical Av. Lot Size (m <sup>2</sup> )	Minimum Building Setbacks (Refer to notes below)								Private Open Space (POS)		Other Requirements	
			First Storey					Second Storey			Minimum Area (m <sup>2</sup> )	Minimum Circle Diameter (m)		
			Front (m)	Front Carriage (m)	Rear (m)	Optional Zero Lot Line	Side Setback (m)**	Front (m)	Rear (m)	Zero Lot Line				Side Setback (m)**
Townhouse (T)	10.0-12.49	320	3	5.4	3	Yes	1.0	3	3	1	1.0	80	5	50#
Villa (V)	12.5-14.99	375	3	5.4	3	Yes	1.0	3	3	1	1.5	80	5	50#
Courtyard (CY)	15.0-17.99	450	4	5.4	3	Yes	1.5	4.5	3	1.5	2	80	5	50
Conventional (C)	18.0-21.99	540	4.5	5.4	3	No	1.5	4.5	3	N/A	2	-	-	50
Large Conventional (LC)	22 & above	660	4.5	5.4	3	No	1.5	4.5	3	N/A	2	-	-	50

\*\* For non Zero Lot Line Boundary. Setbacks are measured to the wall of the building.  
# Maximum Site Coverage is 50% plus 10% for open framed elements such as patios and alfresco areas. (Refer Building Location Envelope Plan - Point 10)

### Setback Requirements

### Context Plan (NTS)



### Legend

Stage 5 Boundary	
Townhouse (T)	
Villa (V)	
Courtyard (CY)	
Conventional (C)	
Large Conventional (LC)	

