

Legend

Stage 10A & 10B Boundary	---
Attached Products (in a row) Attached product is to be developed in clusters and are to be of the same architectural style, development of individual lots is not permitted.	---
Mandatory Driveway Locations	---
Pathway	---
Pathway for postal service access and registration of address at front of dwelling	---

Notes:

Please refer to the following plans for additional information:

Setbacks & Requirements	CP25 & BLE13-B (Detached)	THG Suite
	BLE13-B (Town-House)	THG Suite
Vehicle Turning	CP27-B (THG Suite)	BMD Suite

Yield Summary - Stage 10A

Rear Loaded Product	0	0%
Front Loaded Product	0	0%
Medium Density Site	0	0%
TOTAL NUMBER OF ATTACHED LOTS	0	0%
Lots 10.0m-12.49m	7	13.5%
Lots 12.5m-14.99m	30	57.7%
Lots 15.0m-17.99m	6	11.5%
Lots 18.0m-21.99m	9	17.3%
Lots 22.0m+	0	0%
TOTAL NUMBER OF DETACHED LOTS	52	100%
TOTAL NUMBER OF LOTS	52	100%

Yield Summary - Stage 10B

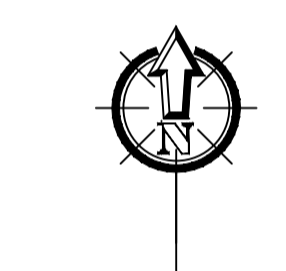
Rear Loaded Product	25	28.1%
Front Loaded Product	3	3.4%
Medium Density Site	2	2.2%
TOTAL NUMBER OF ATTACHED LOTS	30	33.7%
Lots 10.0m-12.49m	9	10.1%
Lots 12.5m-14.99m	30	33.7%
Lots 15.0m-17.99m	8	9.0%
Lots 18.0m-21.99m	8	9.0%
Lots 22.0m+	4	4.5%
TOTAL NUMBER OF DETACHED LOTS	59	66.3%
TOTAL NUMBER OF LOTS	89	100%

Development Summary - Stage 10A

Total Stage Area	3.406ha
Total Number of Lots	52
Total Area of Lots	2.3651ha
Approx. Area of New Road	0.9449ha
• Road	0.096ha
• Laneways & Connecting Pathways	0.096ha
Road Reserve	
Approx. Length of New Road (590m)	
• Road	494m
• Laneways & Connecting Road Reserve Pathways	96m
Area of Park	0ha

Development Summary - Stage 10B

Total Stage Area	6.339ha
Total Number of Lots	89
Total Area of Lots	3.8133ha
Approx. Area of New Road	2.2807ha
• Road	0.093ha
• Laneways & Connecting Pathways	0.093ha
Road Reserve	
Approx. Length of New Road (1258m)	
• Road	1159m
• Laneways & Connecting Road Reserve Pathways	99m
Area of Park	0.1520ha



Capestone
For
Urbex

IMPORTANT NOTES:
These notes are an integral part of this plan. This plan was prepared to support a Reconfiguration of Lot application for the land located at Mango Hill. The Contour boundaries, creek line, flood lines, building locations have all been scaled and should not have any reliance based on them as they are only intended as a general guide. The configuration of allotments shown on this plan is subject to local authority and relevant State Government Authority approval, detailed design, final survey, and registration of survey plans. Any contours contained on this plan should be confirmed by the relevant authorities. The dimensions, area and total number of lots shown herein are subject to field survey and also the requirements of Council and any other authority which may have requirements under any relevant legislation. In particular, no reliance should be placed on the information on this plan for any financial decisions involving the land.
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Drawn: [Name]
Checked: [Name]
Date: [Date]

Revisions	Date	By
1	16 Jun 2015	KS
2	23 Oct 2015	KS
3	16 Jun 2015	KS

Scale: 1:1,000@A1
Designed: KS
Drawn: KS
Checked: KS
Plot Date: 16 Jun 2015
Computer File Ref: 30105-LP14-B.dwg

CAPESTONE
Stage 10A & 10B
Reconfiguration of
a Lot Plan

THG
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